



DEVELOPMENT PERMIT NO. DP000868

J R E HARDWARE INC
Name of Owner(s) of Land (Permittee)

1870 DUFFERIN CRESCENT
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 8, SECTION 15, RANGES 7 AND 8, MOUNTAIN DISTRICT, PLAN EPP15172

PID No. 028-727-487

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Building Elevations
Schedule D Floor Plans and Details
Schedule E Landscape Plan and Detail

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

Section 13.4.1 (Siting of Buildings)

- *Required Front Yard Setback*

The front yard setback is 7.5m. The proposed setback is 5.46m; a variance of 2.04m.

- *Required Minimum Side Yard Setback*

The minimum side yard setback is 7.5m. The proposed setback is 6.55m; a variance of 0.95m.

Section 17.13, Figure B, 2d (Minimum Landscape Treatment Level)

- *Required Minimum Landscape Treatment Level 2d (East Elevation)*

The required Minimum Landscape Treatment Level 2d width is 1.8m. This level requires trees 6m on centre; shrubs or ground cover; and, a solid 1.8m fence. The proposed landscape width is 0m, a variance of 1.8m.

REVIEWED AND APPROVED ON

2015-APR-27
Date


D. Lindsay
Director

Community Development

Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb

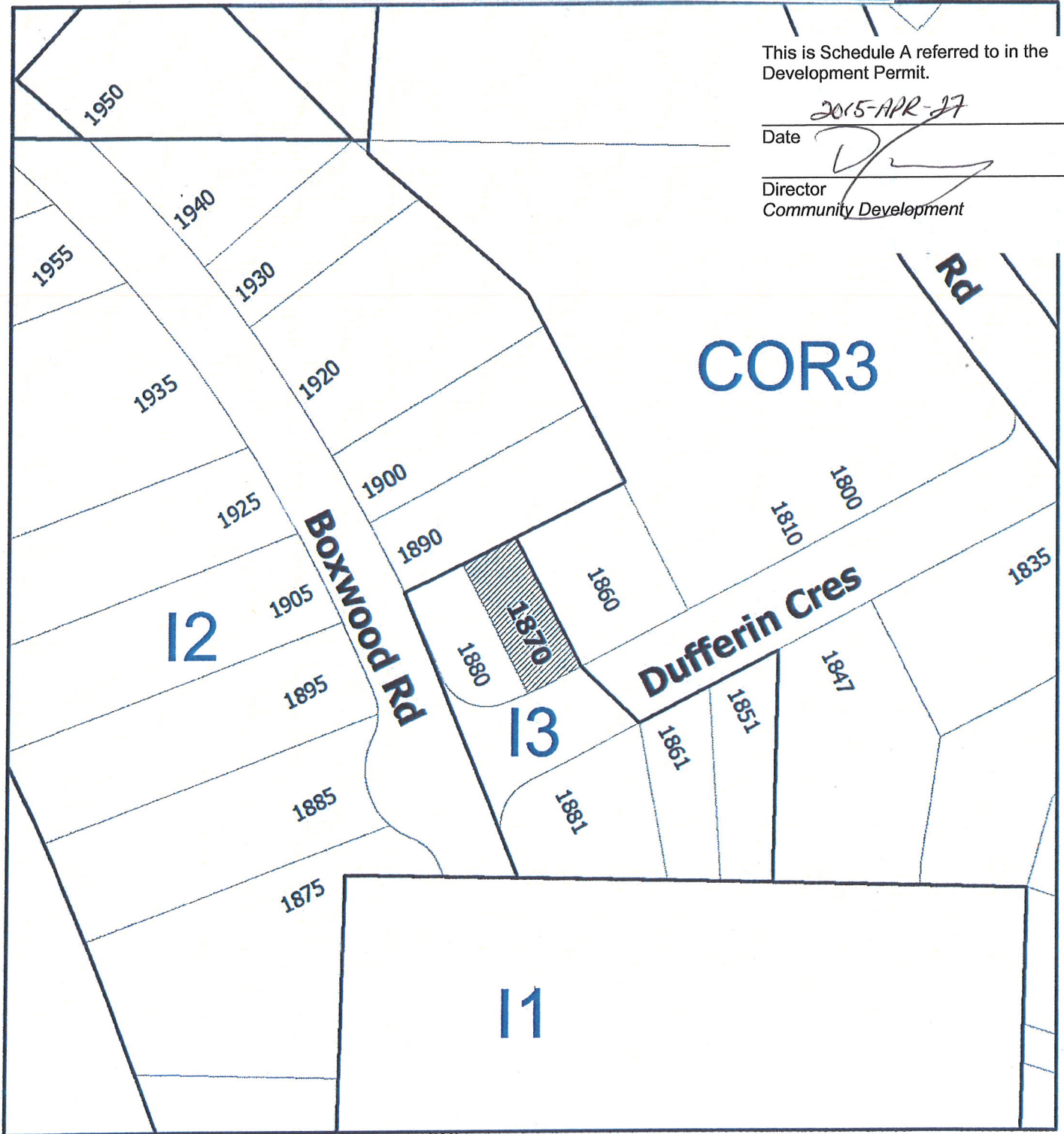
Prospero attachment: DP000868

LOCATION PLAN

This is Schedule A referred to in the
Development Permit.

Date 2015-APR-27

Director [Signature]
Community Development




DEVELOPMENT PERMIT NO. DP000868

LOCATION PLAN

Civic: 1870 Dufferin Crescent
Lot 8, Section 15, Range 8,
Mountain District, Plan EPP15172



 **Subject
Property**

Development Permit DP000868
1870 Dufferin Crescent

Schedule B

SITE PLAN

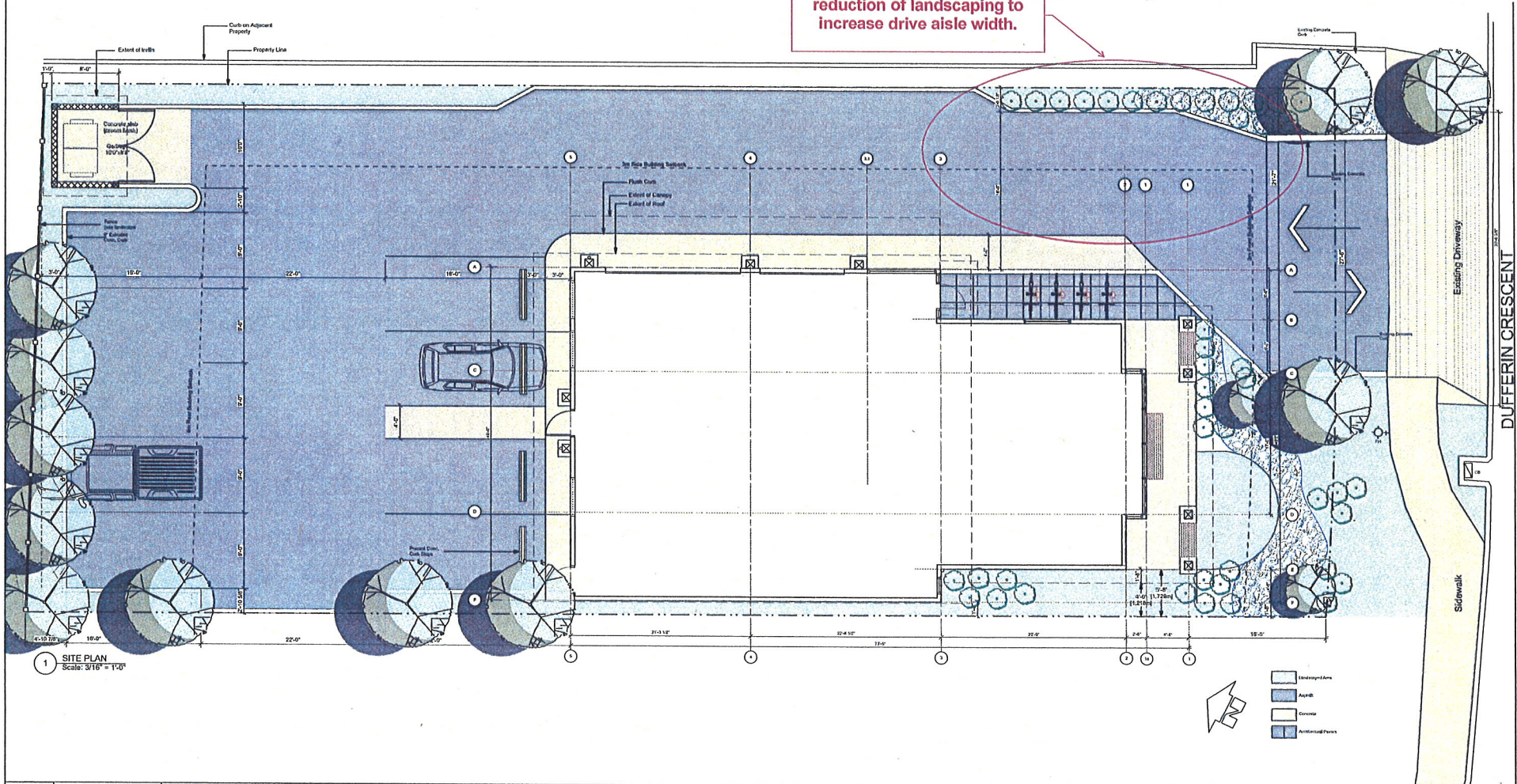
This is Schedule B referred to in the
Development Permit.

2015-APR-27

Date

Director
Community Development

Area may require further
reduction of landscaping to
increase drive aisle width.



1 SITE PLAN
Scale: 3/16" = 1'-0"

Legend:

- Shaded Area
- Asphalt
- Concrete
- Permeable Pavers

RAYMOND de BEELD ARCHITECT Inc.
155 Terminal Ave. North, Nanaimo, B.C. V9S 4E1
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Email: info@rdbelect.com
www.rdbelect.com

JRE WAREHOUSE
1870 Dufferin Crescent, Nanaimo, BC
Lot 8, Sec 15, Mountain District, EPP15172

SHEET TITLE
Site Plan

No.	Date	Issue Notes	No.	Date	Revision Notes
1	2015 04 02	Development Permit Assessment			

Do not scale drawings. Contractor shall verify all dimensions of the work and report any discrepancies to the architect before proceeding. This drawing is not to be used for construction work unless approved and signed by the architect.

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RECEIVED
By L. Nelson at 8:46 am, Apr 13, 2015

Drawn: P
Scale: 1/8" = 1'-0"
As Shown
Date: Apr 10, 2015
CAD FILE: Dufferin 03.rvt

SHEET No: **A01.1**

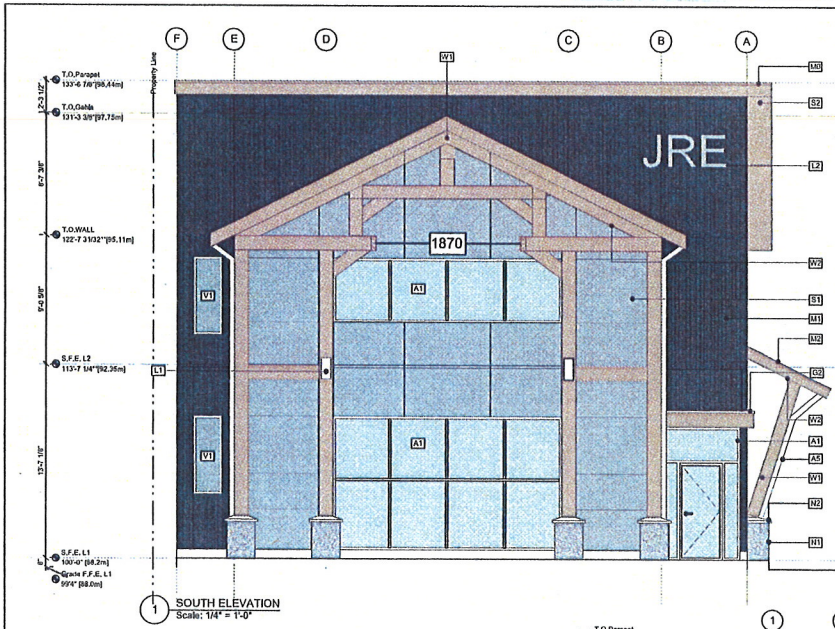
This is Schedule C referred to in the
 Development Permit.

2015-APR-27

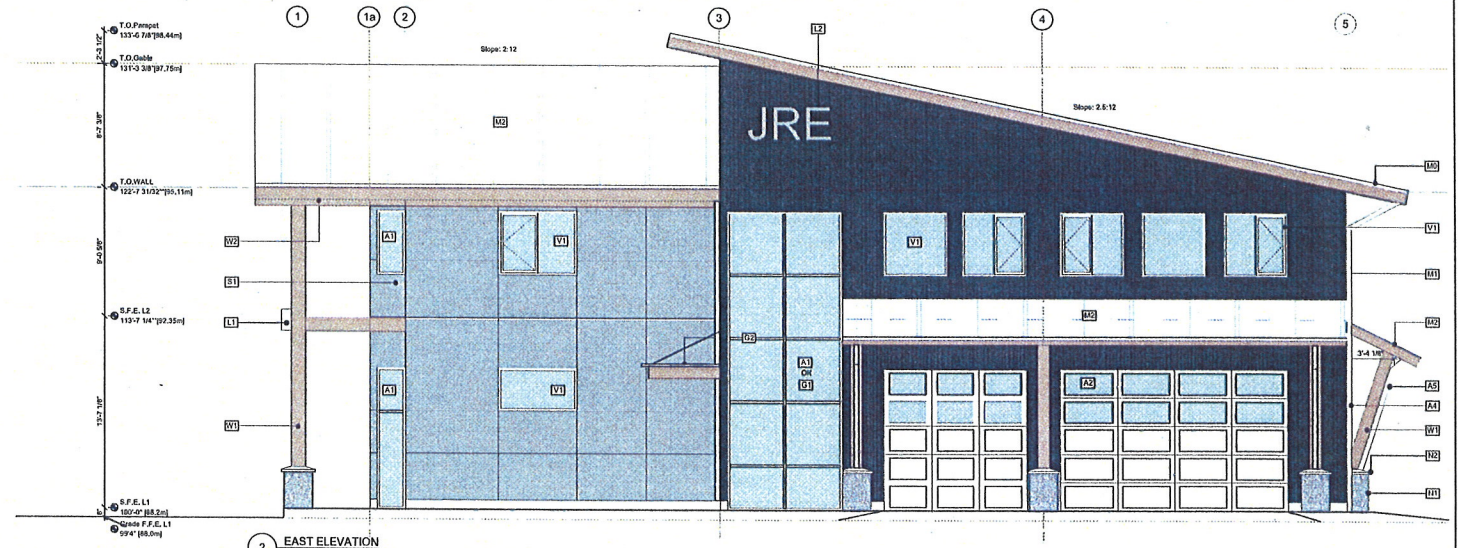
Date

Director

Community Development



1 SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



2 EAST ELEVATION
 Scale: 1/4" = 1'-0"

- Material Legend**
- M0 Metal Flashing (Aluminum)
 - M1 Smooth Corrugated Metal
 - M2 Standing Seam Metal (Black)
 - M3 Metal Flashing (Wood Colour)
 - A1 Anodized Aluminum Door and Window Frames
 - A2 Aluminum Overhead Door
 - A3 Aluminum Sliders
 - A4 Rainwater Leader (Match Cladding Colour)
 - A5 Rainwater Leader in integrated into the Column
 - S1 Horizontal Slatted Panel (1 x 1/2" Gap)
 - S2 Hardie Panel Wood Texture and Colour
 - V1 Vinyl Window Frames
 - W1 Timber Framing (Natural Wood Grain)
 - W2 Veneered Wood Cladding/Soffit
 - N1 Natural Stone Finish (K2 Stone Veneer)
 - N2 Natural Concrete
 - G1 Glass with Spider Clamps (Alternate)
 - G2 Tempered Glass Clarity
 - L1 Up/Down Wall Lighting (Chrome or Aluminium)
 - L2 Solid Metal Letters - Backlit (Stand around the Edges (Color to Match Company Logo))

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 www.rdbeled.ca

PROJECT CLIENT:
JRE WAREHOUSE
 1870 Dufferin Crescent, Nanaimo, BC
 Lot 8, Sec 15, Mountain District, EPP15172

SHEET TITLE:
 Elevation 1-Opt2

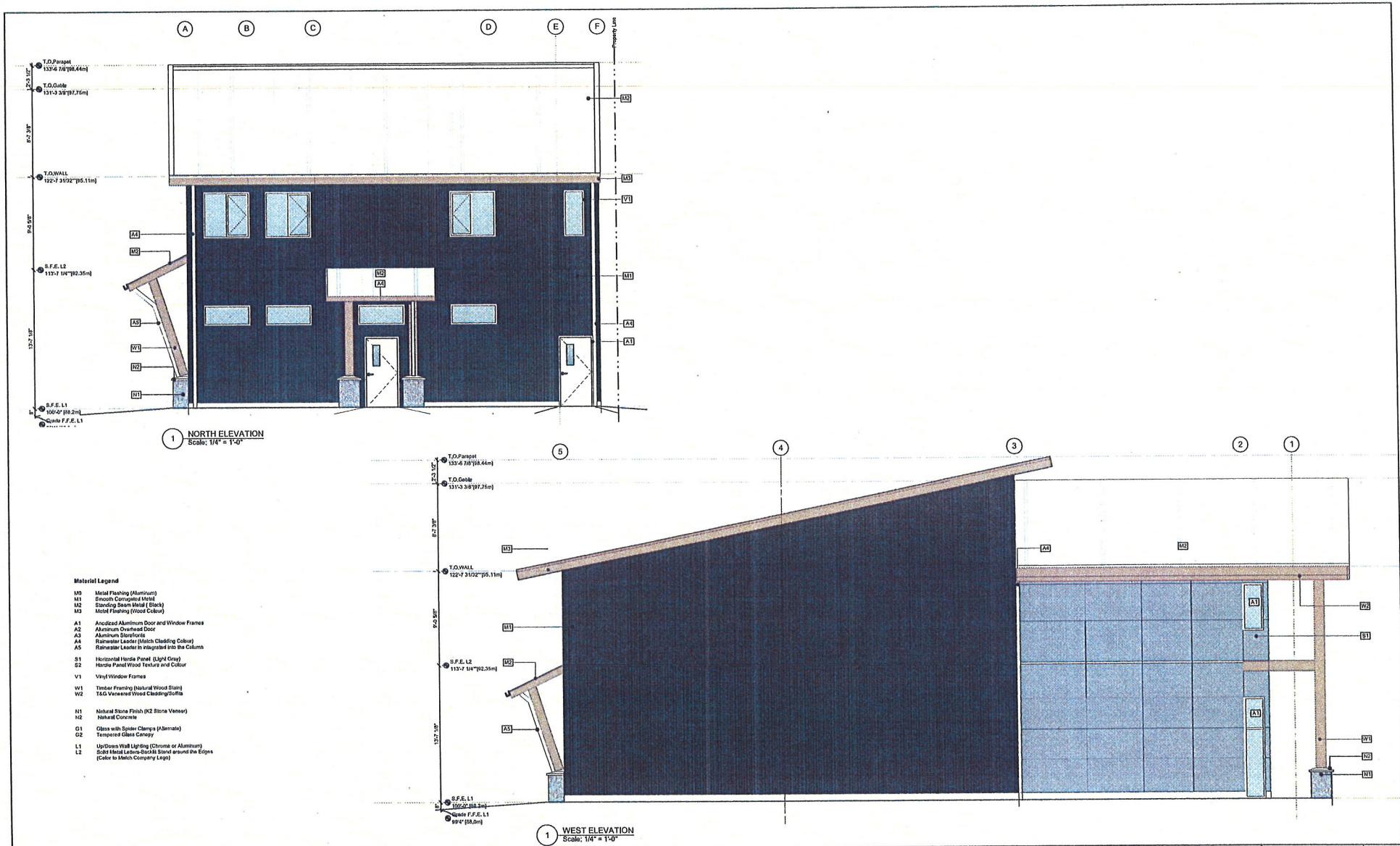
No.	Date	Issue Notes	No.	Date	Revision Notes
1	2015 04 02	Development Permit Amendment			

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 By L. Nelson at 8:40 am, Apr 13, 2015

PROJECT: JRE WAREHOUSE
 DRAWING NO: 1501
 SCALE: AS SHOWN
 DATE: Apr 10, 2015
 DRAWN BY: Dufferin 03.ywx

SHEET NO: A07.1
 OF 8



- Material Legend**
- M0 Metal Flashing (Aluminum)
 - M1 Smooth Corrugated Metal
 - M2 Standing Seam Metal (Black)
 - M3 Metal Flashing (Wood Colour)
 - A1 Anodized Aluminum Door and Window Frames
 - A2 Aluminum Overhead Door
 - A3 Aluminum Sliding
 - A4 Rainwater Leader (Match Cladding Colour)
 - A5 Rainwater Leader (Integrate into the Column)
 - H1 Horizontal Horse Panel (Light Grey)
 - H2 Horse Panel Wood Texture and Colour
 - V1 Vinyl Window Frames
 - W1 Timber Framing (Natural Wood Stain)
 - W2 T&G Veneered Wood Cladding/Baffle
 - H3 Natural Stone Finish (K2 Stone Veneer)
 - H4 Natural Concrete
 - G1 Glass with Sinter Clamps (Alternate)
 - G2 Tempered Glass Canopy
 - L1 Up/Down Wall Lighting (Chrome or Aluminum)
 - L2 Solid Metal Lattice Struck Glass around the Edge (Color to Match Company Logo)

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JRE WAREHOUSE
 1870 Dufferin Crescent, Nanaimo, BC
 Lot 8, Sec 15, Mountain District, EPP15172

Elevation 2-Opt2

No.	Date	Issue Notes	No.	Date	Revision Notes
1	2018 04 02	Development Permit Amendment			

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LOCAL PERMITS
 DRAWN BY: JF
 JOB NO: 1501
 SCALE: AS SHOWN
 DATE: April 10, 2015
 CHECKED BY: Dufferin 03.vvk

CHECKED: Rdb
A07.2

RECEIVED
 By L. Wilson at 8:48 am, Apr 13, 2018

This is Schedule D referred to in the Development Permit.

Development Permit DP000868
1870 Dufferin Crescent
1/2

Schedule D

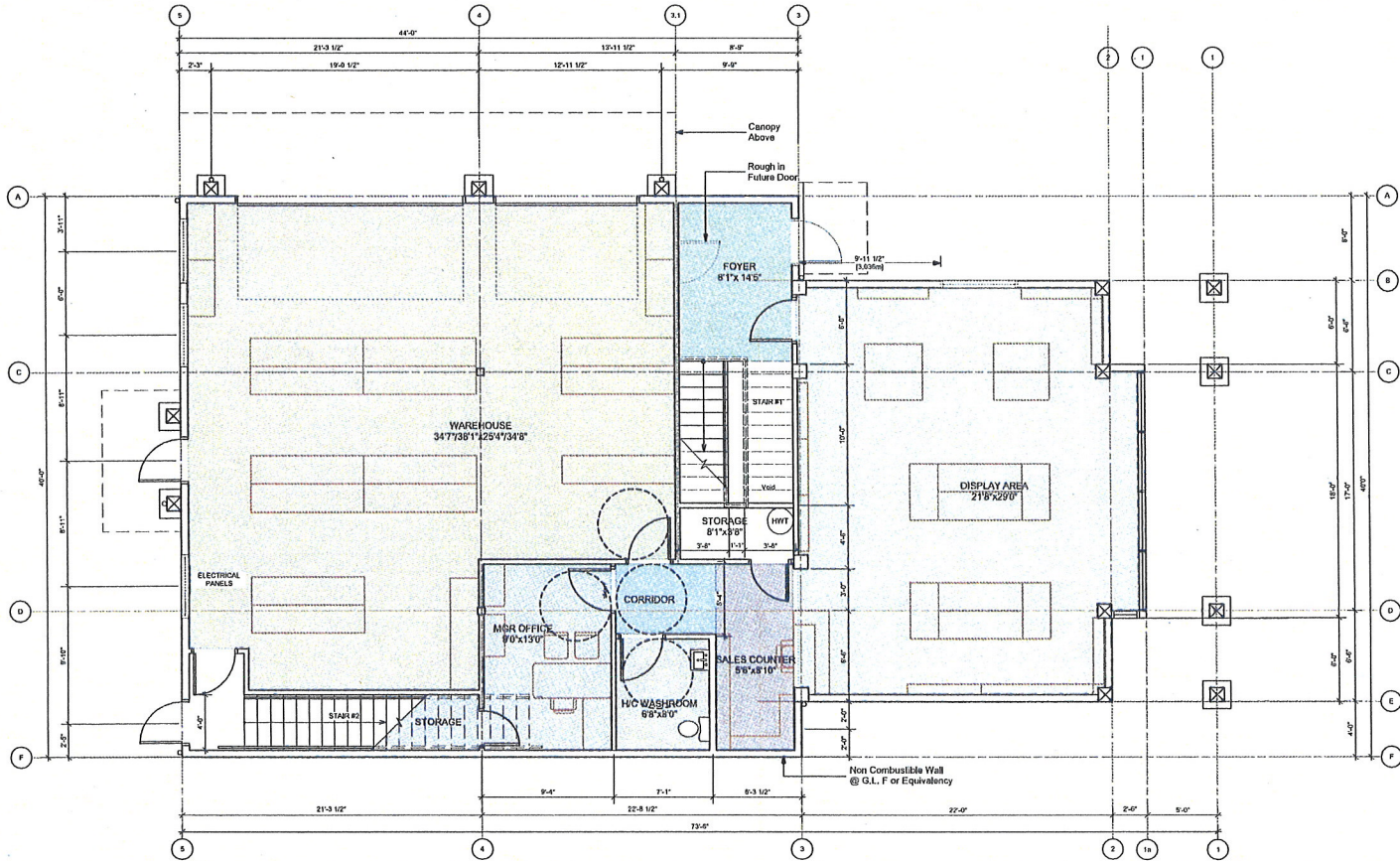
FLOOR PLANS & DETAIL

Date

2015-APR-27

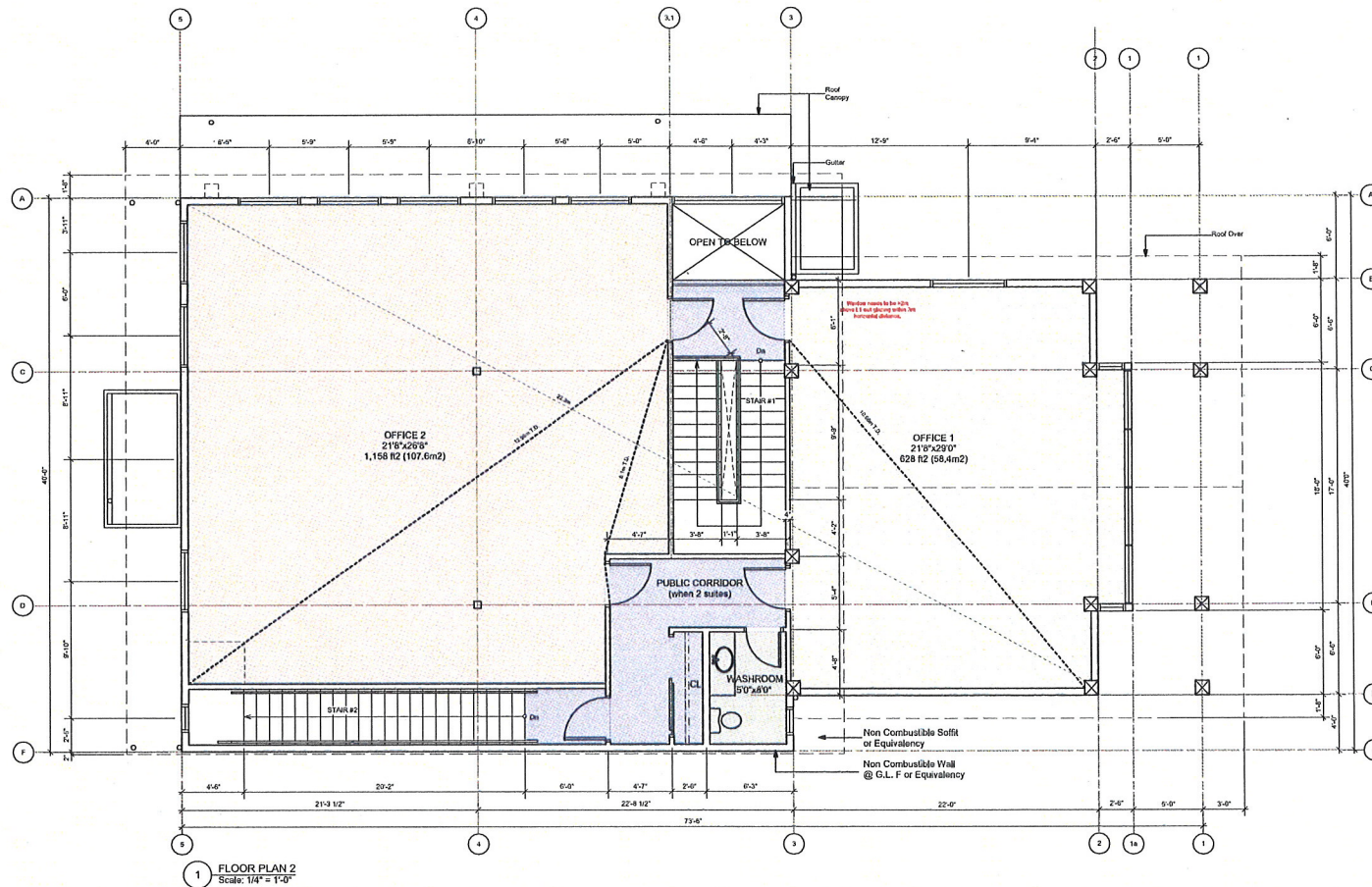
Director
Community Development

2 PROJECT DATA		
Project Description:		
City/Address	1870 Dufferin Crescent, Nanaimo	
Legal Address	Lot 8, Sec 15, Mountain District, EPP15172	
Zoning	S-3 High Tech Industrial	
Property Area	3,775.2 R2 (909.1m ²)	
Building Area		
Ground Floor Area	1,712 R2 (162.63m ²)	
Max Floor Warehouse	703 R2 (65.88m ² ; 14% (max. 25%)	
Upper Floor	2,461 R2 (228.89m ²)	
Ground Building Floor Area	1,532 R2 (143.71m ²)	
Complies	Only 89.2 R2, Loading Dock 284 R2, North Entry 48 R2	
Setback Requirements		
Required	Provided	
Site Coverage	25% (2 18.5m M)	14.67%
Floor Area Ratio	0.78 (1.05 bonus if mixed use)	0.53
Front setback	5.4m	
Side setback	4.5m	
Side setback	2.5m	
Rear setback	12.12m	
Building Height	14m	18.26m
Parking		
Required	Provided	
Regular car	7 (65.88 @ 7/18 + 391.45 @ 1/100)	7
Small car	1 (137% min)	1
Drop off	0	N/A
Handicapped	0 (1:10 ratio)	N/A
Total Parking	8	8
Total Loading	1	2



1 FLOOR PLAN 1
Scale: 1/4" = 1'-0"

<p>RAYMOND de BEELD ARCHITECT Inc. 755 Terminal Ave. North, Nanaimo, B.C. V9S 4K1 Tel: (250) 754-2100; Fax: (250) 754-2118 Email: info@raymonddebeeld.ca www.rdbarchitect.ca</p>	<p>PROJECT CLIENT</p> <p>JRE WAREHOUSE 1870 Dufferin Crescent, Nanaimo, BC Lot 8, Sec 15, Mountain District, EPP15172</p>	<p>SHEET TITLE</p> <p>Floor Plan 1</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Issue Notes</th> <th>No.</th> <th>Date</th> <th>Revision Notes</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2015 04 02</td> <td>Development Permit Amendment</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	No.	Date	Issue Notes	No.	Date	Revision Notes	1	2015 04 02	Development Permit Amendment				<p>Do not make drawings. Contractor shall verify all dimensions of the work and report any discrepancies to the architect before proceeding. This drawing is not to be used for construction until stamped and signed by the architect.</p> <p>As an instrument of service, this drawing is the property of the architect and may not be reproduced without permission. This drawing is for the use of the specified project only and shall not be used otherwise without written permission of the architect.</p>	<p>SCALE PREFIX</p> <p>DATE: APR 10, 2015 DRAWN BY: L. WILSON CHECKED BY: L. WILSON</p>	<p>ISSUED BY: JRE</p> <p>DATE: APR 10, 2015</p> <p>PROJECT: Dufferin 03.vva</p>	<p>SHEET NO: A02.1</p>
	No.	Date	Issue Notes	No.	Date	Revision Notes													
1	2015 04 02	Development Permit Amendment																	
<p>RECEIVED By L. Wilson at 8:46 am, Apr 13, 2015</p>																			



1 FLOOR PLAN 2
Scale: 1/4" = 1'-0"

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PROJECT CLIENT
JRE WAREHOUSE
1870 Dufferin Crescent, Nanaimo, BC
Lot 8, Sec 15, Mountain District, EPP15172

SHEET TITLE
Floor Plan 2

No.	Date	Issue Notes	No.	Date	Revision Notes
1	2015 04 02	Development Permit Amendment			

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By L. Nelson at 8:46 am, Apr 13, 2015
DATE: Apr 10, 2015
CADWALK Dufferin 03.yvw

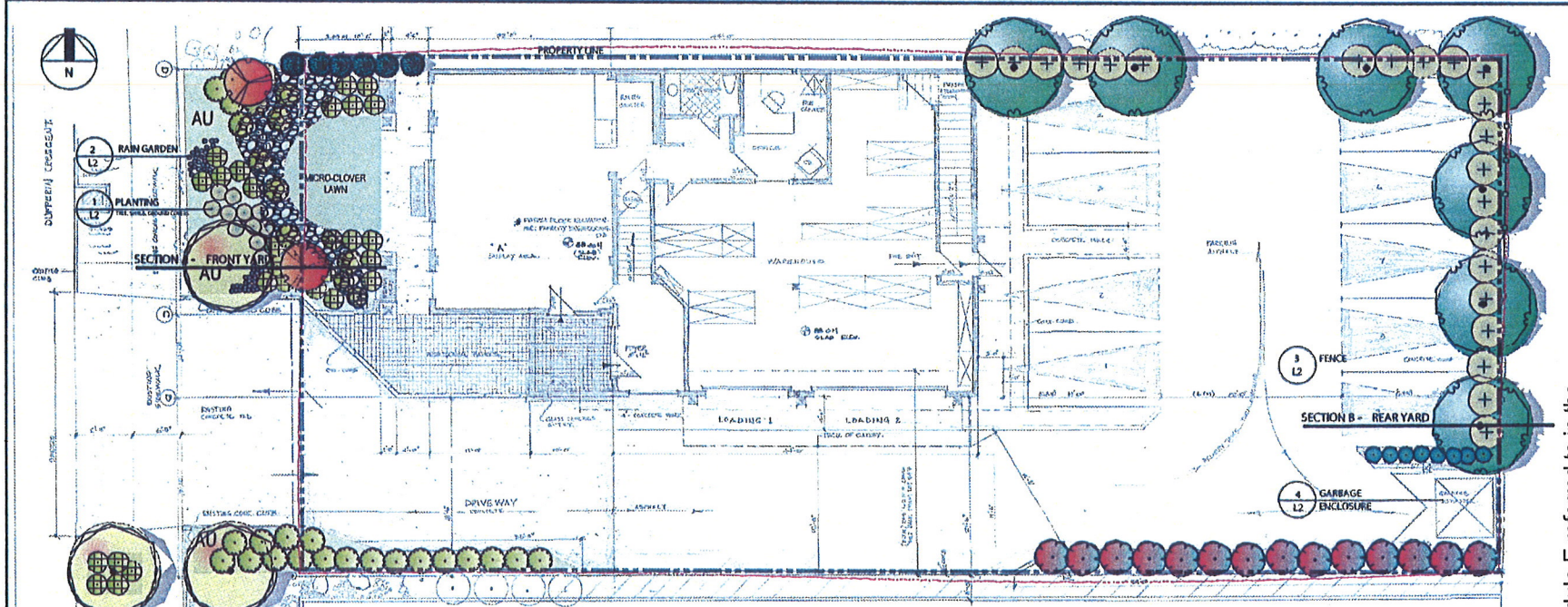
DESIGN P
JOB No: 1501
SCALE: As Shown
DATE: Apr 10, 2015
CADWALK Dufferin 03.yvw

SHEET No.
A02.2

DESIGNED
RoB

2/2

LANDSCAPE PLAN & DETAIL



DESIGN RATIONALE

- TO PROVIDE ROBUST LANDSCAPE AMENITIES TO SHOWCASE THE BUILDING ENTRANCE.
- TO BUFFER ADJACENT USES.
- AS WELL AS TO MANAGE THE SITE RUNOFF WITH ABSORBENT LANDSCAPE.

GENERAL GRADING NOTES

1. PLANTING AREAS AND PARAGARDENS SHALL NOT BE MOVED (THAT IS THE GRADING) MORE THAN 150mm FROM THE FINISHED GRADE TO BE ABOUT 25mm BELOW CURB ELEVATIONS. EXCAVATION OF SUB-GRADE WILL LIKELY BE REQUIRED TO PREPARE FOR PLANTING.
2. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM PLANTED AREAS TO A MINIMUM 2% SLOPE AWAY FROM BUILDING WALLS AND FOUNDATIONS AND ON ALL HARD SURFACES, A MINIMUM 1% SHALL BE OBSERVED.
3. REFER TO ENGINEER'S DRAWINGS FOR GRADING INCLUDING FINISHING LOT, CURB, AND LET-DOWNS ELEVATIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

GENERAL LANDSCAPE NOTES

1. DRAINAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, INCLUDING DRAWINGS, SPECIFICATIONS AND REPORTS OF OTHER DISCIPLINES.
2. ALL BASE INFORMATION AND EXISTING SURVEY INFORMATION PROVIDED BY J.R.E. HARDWARE INC.
3. ALL UNDERGROUND INFORMATION, IF SHOWN, DERIVED FROM EXISTING RECORDS PROVIDED BY OTHERS. THIS PLAN DOES NOT PURPORT TO VERIFY THIS INFORMATION.

PLANT MATERIAL

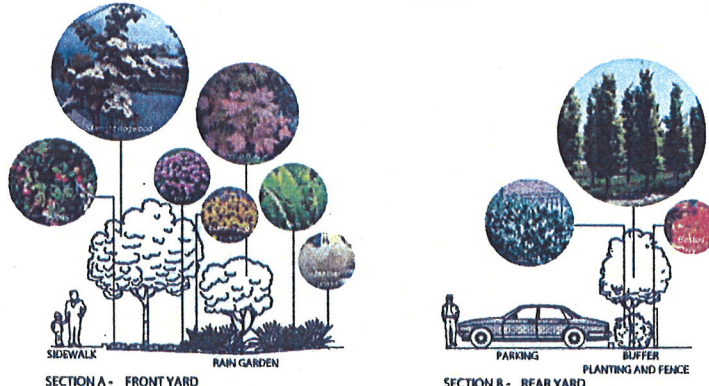
4. TRANSPORTATION AND STORAGE OF PLANTS TO MEET THE BC LANDSCAPE STANDARD.
5. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S WRITTEN APPROVAL.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING CONSULTANT REVIEW OF THE PLANT MATERIAL PRIOR TO PLANTING. PLANT STOCK SHALL MEET THE CANADIAN STANDARD FOR NURSERY STOCK AND APPROVED BY THE CONSULTANT PRIOR TO PLANTING. PLANT INSPECTION AT THE NURSERY IS RECOMMENDED.

GROWING MEDIUM AND SUBGRADE PREPARATION

4. GROWING MEDIUM IS THE MIXTURE OF SCREENED TOP SOIL AND THESE ADJUSTMENTS SPECIFIED BY AN AGRICULTURAL SCIENTIST TO ACHIEVE THE PROPERTIES OUTLINED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD LEVEL 3 - MODERATE.
5. THE CONTRACTOR SHALL SUBMIT SOIL SAMPLE AGONISING LAB RESULTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL IN ACCORDANCE WITH CONTRACT DOCUMENTS PRIOR TO MIXING OF SOIL GROWING MEDIUM.
6. LANDSCAPE PLANTING SHALL BE IN ACCORDANCE WITH CURRENT EDITION OF THE BC LANDSCAPE STANDARD.
7. SURFACE TO BE APPROVED BY LANDSCAPE CONSULTANT PRIOR TO SUPPORTING GROWING MEDIUM TO SITE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUBGRADE PREPARATION FOR ADJUSTIVE FOR GROWING MEDIUM DEPTH, INCLUDING GROWING MEDIUM ON TOP OF CONTRACTED SURFACES WILL NOT BE ACCEPTED. SURFACE TO BE SCREENED FOR DRAINAGE.
8. GROWING MEDIUM SHALL MEET THE FOLLOWING DEPTHS:
 - 150MM DEPTH FOR LAWNS AND GRASS AREAS
 - 300MM DEPTH PLUS 100MM DEPTH ORGANIC MULCH IN PLANTING BEDS (TREES, SHRUBS, AND GROUND COVER AREAS)
 - 450MM DEPTH PLUS 100MM DEPTH ORGANIC MULCH IN RAIN GARDENS.
9. MULCH SHALL BE DOUGLAS FIR AND/OR PINE/SPRUCE COMPOSTED WARK ON APPROVED BRAND.

IRIGATION

10. ALL PLANTED AREAS ARE TO IRRIGATED FOR ESTABLISHMENT.
- LANDSCAPE WARRANTY.
11. THE LANDSCAPE MAINTENANCE PERIOD IS THE BC LANDSCAPE STANDARD ONE YEAR WARRANTY PERIOD.



PLANT LIST

TREES	QTY	SYM.	BOTANICAL NAME	COMMON NAME	CONT.	CAL.
	2	AC	Acer circinatum	View Maple	#5 pot	
	3	CS2	Cornus rustalis 'Starlight'	Starlight Dogwood		8cm CAL.
	7	CB	Caspinus betulae 'Franc Fontaine'	Borwood	6 cm CAL.	6 CM CAL.
	5	PCN	Phoenix ornata 'Nana'	Dwarf Serbian Spruce	#2 POT	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.		
	35	A	Artemisia maritima	Common Thyme	10 cm pot	
	14	CS	Cornus stolonifera	Dogwood	#1 pot	
	8	IS	Ilex ornata 'Sky Pencil'	Sky Pencil Japanese Holly	#1 pot	
	30	NP	Nyssa tenuisima 'Pony Tail'	Manzan Feathergrass	#1 pot	
	2	PT	Parthenocissus tricuspidata 'Robusta' (on rear fence)	Boston Ivy	10 cm pot	
	20	PVU	Polytaichum muratum	Western Sword Fern	10 cm pot	
	10	RO	Rubus idaeus rubra 'Cockburn'	Black-eyed Susan	#1 pot	
	22	PO	Prunus laurocerasus 'Obo Laykin'	Laurel	#1 pot	
	80	AU	Ardostaphylos uva-ursi	Kinnelback	10 cm pot	

GREEN ROCK INDUSTRIAL SUBDIVISION
J.R.E. HARDWARE INC.

PLANTING PLAN

This is Schedule E referred to in the Development Permit.

2015-APR-27

Date
Director
Community Development

1	2	3	4	5	6	7	8	9	10
1	2	3	4	5	6	7	8	9	10

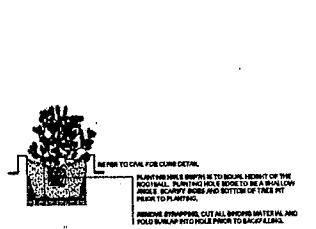


Project: DCL14
Date: FEB. 2014
Drawn: JS
Scale: 1/8" = 1'-0"

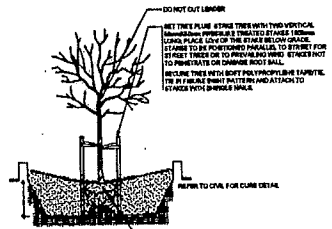
Sheet: L1

LANDSCAPE
DETAILS

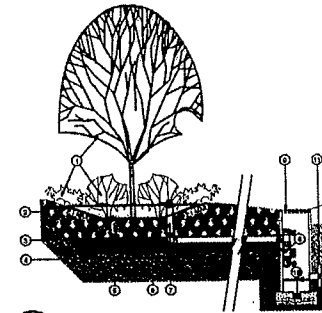
ADDRESS:
1870 DUFFERNIN CRECENT
NANAIMO, BC



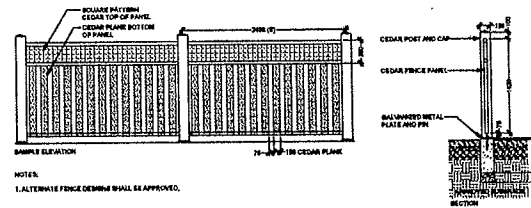
1A
11 NTS
PLANTING BED WITH SHRUB - CURB EDGES



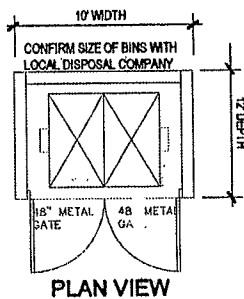
1B
11 NTS
PLANTING BED WITH TREE - CURB EDGES



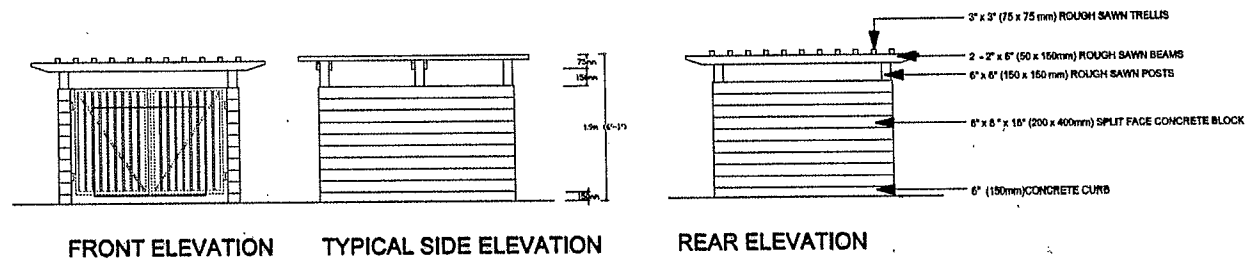
2
11 Not To Scale
RAIN GARDEN



3
11 SCALE 1:30
REAR YARD WOOD FENCE



4
11 NTS
GARBAGE ENCLOSURE



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Issues & Revisions

No.	Date	Details
1	18 FEB 2014	CRAT TOP PACKAGE FOR REVIEW
2	11 FEB 2014	CRAT TOP PACKAGE

Gemella
DESIGN INC
LANDSCAPE ARCHITECTURE
GREEN DESIGN + PLANNING
540 201 1112
www.gemelladesign.com
100-100-0000

Project: DCL14
Date: FEB. 2014
Drawn: JG Checked: JG
Scale:
Sheet: **L2**

2/2.